



WOLF RANCH

prepared for:

Nor'wood Limited, Inc.
111 South Tejon Street, Suite 222
Colorado Springs, Colorado 80903
phone: 719-593-2600
fax: 719-633-0545

prepared by:

Nuszer Kopatz Urban Design Associates
1117 Cherokee Street
Denver, Colorado 80204
phone: 303-534-3881
fax: 303-534-3884

**Westcreek and The Villages at Wolf Ranch Homeowner
Condensed Design Guidelines-
revised March 10, 2006
A Supplement to the Wolf Ranch Community Master Design Guidelines
Dated March 1, 2005**

Phone (719) 597.WOLF

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Preface

The Westcreek and The Villages at Wolf Ranch Homeowner Design Guidelines (herein referred to as the "Guidelines") have been created as a supplement to the Wolf Ranch Community Master Design Guidelines (herein known as the "Master Design Guidelines"). Both sets of Guidelines have been adopted in accordance with the Wolf Ranch Community Charter. The Master Guidelines have been followed by homebuilders and developers in the initial construction of lot improvements within Westcreek and The Villages at Wolf Ranch. The Homeowner Design Guidelines have been created in order to clearly communicate design principles and standards for homeowner improvements and additions to lots within Westcreek and The Villages at Wolf Ranch. These Guidelines are intended to provide guidance to Owners and their design consultants regarding matters of particular concern to the Reviewer. These Guidelines are not the exclusive basis for the Reviewer's decision, and compliance with these Guidelines does not guarantee approval. The Master Guidelines are the controlling principles for any issues not specifically addressed in these Guidelines.

Purpose & Intent

These Guidelines are established to maintain high quality neighborhood appearance and community identity through thematic continuity. These Guidelines are to be used as a tool in the development of the site, architecture, and landscape architecture plans that will be submitted and reviewed by the Reviewer. The Reviewer is the Founder, *Nor'wood Limited, Inc.* or the appointed entity, as set forth in the Community Charter for Wolf Ranch, as one who shall review, and either approve or disapprove proposals and/or plans and specifications, construction, exterior additions, landscaping or changes and alterations within Wolf Ranch.

UNLESS OTHERWISE PROVIDED HEREIN, NO IMPROVEMENTS (OTHER THAN INITIAL IMPROVEMENTS) SHALL BE CONSTRUCTED, ERECTED, PLACED, PLANTED, APPLIED OR INSTALLED UPON ANY LOT UNLESS PLANS AND SPECIFICATIONS HAVE FIRST BEEN SUBMITTED TO AND APPROVED IN WRITING BY THE REVIEWER.

Waivers / Amendment & Supplements

The Reviewer shall have the right to waive, at its sole discretion, any of the provisions outlined in these Guidelines at any particular time. No such waiver shall be construed or held to be a waiver of any other provisions of these Guidelines, or of the same provisions to any other party.

These Guidelines may be amended or supplemented from time to time in accordance with the Community Charter.

Reviewer - The Founder, or the appointed Design Review Committee as set forth in the Wolf Ranch Community Charter, is one who shall review and either approve or disapprove proposals and/or plans and specifications, construction, exterior additions, landscaping or changes and alterations within Wolf Ranch.



Enforcement and Non-Liability of Reviewer, Founder, Management Company and Wolf Ranch Homeowners' Association, Inc.

These Guidelines may be enforced as provided in the Wolf Ranch Community Charter. Neither the Reviewer, the Association, the Board of Directors, the Founder, nor the Managing Agent, nor any of their respective individual members, employees, agents, successors or assigns shall be liable for any loss, damage or injury arising out of, or in any way connected with, the performance and duties of the Reviewer. Every Owner or other person who submits plans to the Reviewer for approval agrees, by submission of such plans and specifications, that they will not bring an action, lawsuit or claim against the Reviewer, the Association, the Board of Directors, the Founder, nor the management company nor any of their respective individual members, employees, agents, successors or assigns based on mistake in judgment, negligence, or nonfeasance arising out of, or in connection with, the approval or disapproval or failure to approve any plans or specifications. Approval by the Reviewer shall not be deemed to constitute compliance with the requirements of any local building codes, development regulations or other applicable laws, and it shall be the responsibility of the Owner to comply therewith.

Site Design

Approval Requirements

No substantial changes in plans or material previously approved may be undertaken without approval of the Reviewer. No work shall be undertaken (other than routine maintenance and repair) which will result in material changes in the exterior appearance of an approved residence, including painting (a different color) or restaining (a different color) without prior, written approval of the Reviewer.

Site Considerations

Site improvements should minimize the disturbance of existing terrain and should not disturb drainage patterns. Respect for adjacent residences is stressed.

Grading and Drainage

As individual filings are platted, Lot Drainage Plans have been prepared to reflect detailed locations of swales required to accomplish drainage on individual lots and within the overall filing. It is recommended that Owners reference their specific Lot Drainage Plan prior to the design of improvements and additions to lots. Lot Drainage Plans can be obtained from your builder.

The location of additional structures, or other improvements within the home site, shall not adversely impact or disrupt the originally constructed drainage patterns on the lot.

Owners are responsible for controlling the drainage resulting from the additions

Board of Directors - The Board elected pursuant to the Association's Bylaws or appointed by the Declarant.

Founder - The founder, *Norwood Limited, Inc.*, is the declarant and developer of the master-planned community of Wolf Ranch.

Owner - The term Owner shall mean the record Owner of any Home site or Home sites as shown on the official records of the El Paso County, Colorado Recorder. The Owner may act through an agent provided that such agent is authorized to act in such capacity.

Lot - Refers to land platted for a future home site that is held in private ownership.

Builder - The professional entity that constructs the initial improvements on a given lot.

Home site - The term home site shall be those parcels of land, together with any appurtenances, described as lots on the subdivision plat.

Patio - An outdoor semi-private space often paved, that is immediately adjacent to a home.

Terrace - A raised outdoor space or earthen platform adjacent to a building used to transition between areas of steep grade.

and improvements of the home site, including landscaping, and may not direct water onto an adjacent property, unless such a diversion is located within an established drainage easement.

Individual modifications such as landscaping within easements or modifications to grades through improvements such as patios, terraces, or site walls could adversely affect the established drainage patterns. Runoff from impervious surfaces such as roofs, driveways or other paved areas, shall be diverted away from building foundations. Drainage shall be directed to natural or improved drainage channels, or dispersed into shallow sloping, planting areas for retention. Storm drainage shall not connect into sanitary sewer systems. Lot grading shall consist of smooth contours and transitions and not sharp angles or abrupt grade changes.

Easements & Utilities

Utility and drainage easements have been established across each lot to facilitate drainage, and the installation and maintenance of all public utilities. No grading, site improvements, or landscape materials that may result in damage or interference to these utilities will be permitted within these easements. Landscape plans should, however, address and indicate the replanting of acceptable landscape materials within areas of these easements disturbed during installation or repair of individual utilities. The drilling of individual private wells is not permitted. (Please refer to the Landscape Section p.6.)

Setbacks and Side Yard Criteria

All front, rear, and side yard setbacks and side yards must comply with the City of Colorado Springs standards unless alternative design criteria are established by these Guidelines and approved by the City of Colorado Springs.

Corner Lot Visibility Sight Triangles

Fencing, walls, buildings, pillars, landscaping, signs, or any other obstruction to vision between the heights of 3' and 10' above street level are not permitted within the triangular area formed within 55' of the intersection of the curb lines of 2 streets.

Note: It is the Owner's responsibility to determine and comply with the required setbacks that are assigned to their lot

Architecture

Building Additions or Improvements

Additions or new improvements must be compatible with existing construction.

Solid body stains that relate to the surrounding improvements are acceptable.

Color samples and exterior improvement colors must be submitted to Reviewer for approval.

Restricted Materials:

The following materials are acceptable in a limited manner or only in specific places for aesthetic or functional reasons:

- Vinyl windows - vinyl windows are allowed within Westcreek and The Villages, but to the extent color variation is or becomes available, color is preferred over white.
- Glass block - acceptable on side elevations up to a maximum of 25 sq. ft.
- Masonite - is acceptable on soffits.

Prohibited Materials:

The following materials are not acceptable in Westcreek and The Villages at Wolf Ranch for aesthetic and / or functional reasons:

- Concrete Masonry Units (CMU)
- Pre-cast Concrete
- E.I.F.S. (exterior insulation finish system)
- Soffit Materials made of raw plastic or plastic siding
- Plastic Siding
- Round stone or River rock
- Raw Plywood

Fencing

The design intent of Wolf Ranch is to minimize fencing. Therefore, fencing is not required and is restricted to allow lot line fencing only. Split rail fencing along the eastern border of Westcreek, The Villages and along Powers Boulevard will be constructed and maintained by the developer and the metropolitan district. This fencing may not be removed or modified by the adjacent homeowner. Homeowner's will need to set their own termination post for private side yard fence. Private side yard fencing cannot tie into the community fence. Wire meshing may be added to the community fence for pet enclosure.

The only fencing permitted in Westcreek and The Villages is a 3 rail concrete split rail fence provided by Concrete Fence of Colorado, or an equivalent approved by the Reviewer. This fence has the following specifications:

- 4' high
- 6" railings with 9" spacing between rails
- Posts can be spaced at either 6' or 8' with or without concrete footers
- Colors: Solomon Colors of Earthen, Rawhide, Buckskin, or Leather

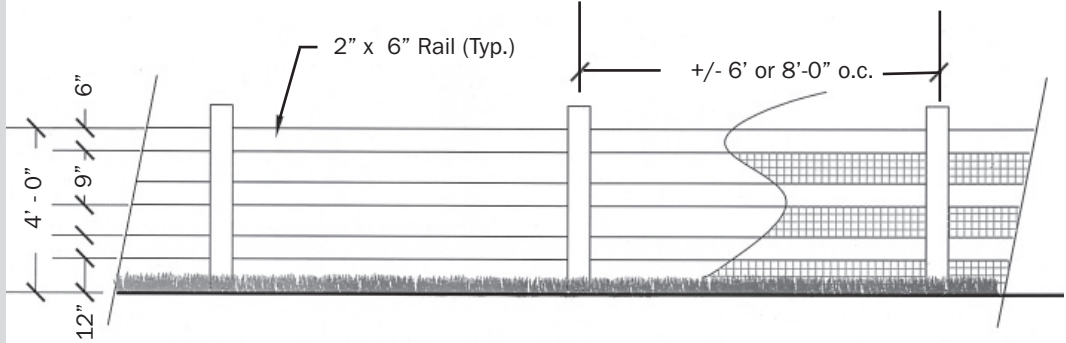
Masonry - Stone, brick or other vitreous clay bonded by cementitious mortar for use in the construction of site and building elements.



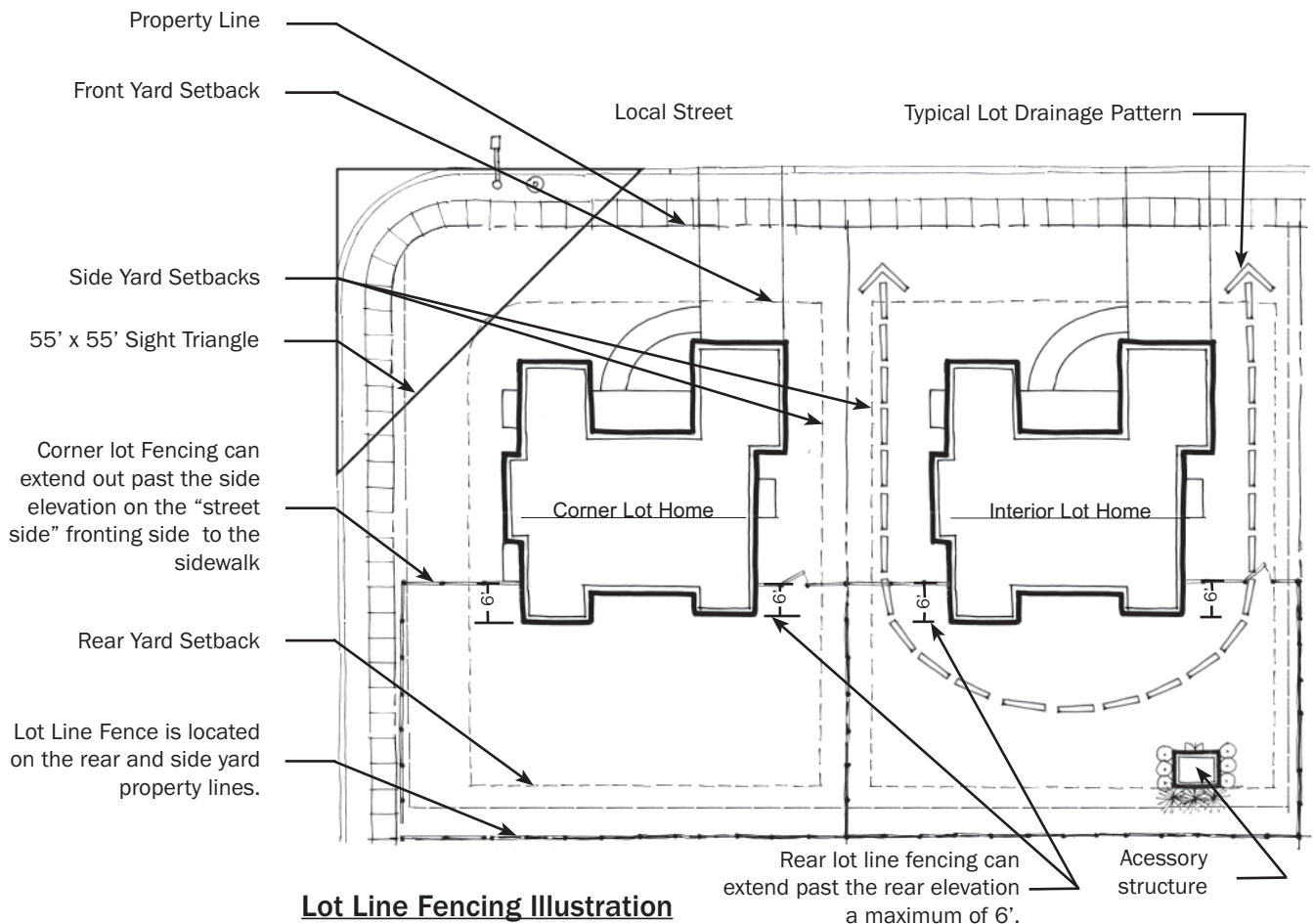
Example of river rock or round stone.

Optional Pet Mesh; 2"x4" Vinyl Coated or Powder Coated Wire Mesh. Attach to "House Side" of Fence Using 250# U.V. Resistant "Zip Ties" @ 2' o.c. Color to be Black.

Concrete 3 Rail Fence as Supplied by Concrete Fence of Colorado, Inc. (719)266-4069
Allowable Colors : Solomon Colors - Earthen, Rawhide, Buckskin or Leather.



Concrete 3 Rail Fence



Lot Line Fencing Illustration

Lot line fencing is only allowed in the rear yard and should not extend more than 6' forward of the rear elevation to allow tie-in. On corner lots, the fencing may extend out past the side street elevation to the sidewalk. Variations to the side fence location, to accommodate for side yard features (e.g. doors, patios), may be allowed at the sole discretion of the Reviewer.

Owners wishing to provide a pet enclosure can either install invisible, electronic fencing or attach an approved wire mesh to the split rail fence. No chain link fence material is allowed.

Decks

On all elevated or walkout balconies, decks or porches, all materials exposed to view shall be permanently painted or stained to complement the color scheme of the residence. A homeowner preparing to build a balcony, deck, or porch will need to refer to the Master Design Guidelines. Generally, supporting deck posts shall be a minimum of 12" in nominal width or diameter. Balconies, decks or porches that are supported more than 4'-0" above the adjacent ground line shall incorporate a substantial base element of complementary building materials. The overall dimension of the column bases shall be appropriately proportioned to the scale of balcony, deck or porch as well as the height that it is supported above grade. Generally, no balcony, deck or porch shall be supported more than 10'-0" above the adjacent ground line. Stairs shall be constructed as cantilevering or with additional columns, and of similar materials to the deck and its handrail.

Railings should be translucent in character and allow light and view to pass through the balusters or pickets. Finely crafted wood or metal railings are encouraged. The use of opaque materials for deck railings is not allowed.

Landscape Architecture

General Principles

When preparing to landscape or alter an existing landscape, a Landscape Plan must be submitted to the Reviewer, and is subject to these Landscape Guidelines and Procedures. More extensive Guidelines and Procedures can be found in the Master Guidelines. Because individual home sites vary in landscape character, terrain, views, and features, the Landscape Guidelines are written in general terms that define design principles, offer site planning guidelines, and clarify the homeowner's responsibility. Owners are encouraged to retain the services of a professional Landscape Architect experienced in site analysis, planning, landscape design, installation and plant materials. Sample materials for mulches, edging, and other landscape materials shall be submitted for approval prior to installation.

All landscape concepts for lots within Westcreek and The Villages at Wolf Ranch must be consistent with these Guidelines, as well as the requirements of the City of Colorado Springs and the Colorado Springs Landscape Code, Standards, and Policy Manual, effective November 1, 1998. Owners are responsible to check with the Reviewer regarding the appropriate minimum separation of plant material.

Massing - An architectural design characteristic that refers to the overall three dimensional form of a building on its site. Massing encompasses the length, width, height, volume and overall shape of a building.

Plant Material Standards

All plant materials (trees, shrubs, groundcover, grasses, etc.) used at Wolf Ranch shall be of high quality nursery stock suitable for Colorado Springs growing conditions and shall conform to the requirements of the most current USDA Standards and the American Standards for Nursery Stock. Use of plants from the list of Wolf Ranch Recommended Plant Materials is encouraged. (See Appendix A).

Design Philosophy

The proposed design and plant selection should be consistent with and complementary to the overall landscape concept for the lot. Landscape designs shall provide a cohesive and flowing relationship with adjacent homes and lots, and blend with surrounding common areas.

Site Considerations

Landscape architecture improvements should minimize disturbance of existing terrain and shall not disturb drainage patterns. Respect for adjacent residences is stressed, as is coordination of building massing, material capability, sun/shade patterns, indoor/outdoor relationships, and access. The landscape design, including outdoor living spaces, should function as an extension of the home. The design of such spaces should coordinate with the architectural style and construction methods and materials, extending similar materials where feasible. Creative paving patterns should be compatible in color and texture to the residence (i.e. brick, concrete, pavers, slate, and treated wood).

Planting Beds / Erosion Control / Slope Landscape

Slopes on private property shall be landscaped with plant material or other approved ground treatment, including mulch and rock. A minimum of 50% of the width of the slope area shall be landscaped with sod, ground covers, and/or shrubs to prevent erosion. Planting beds will not exceed a 3:1 slope and will be 50% covered by plant material at the time of installation. All rocked and mulched areas must be substantially planted with plant material spaced 4' on center for deciduous species and 6' on center for evergreen species. Open areas not covered with seed, sod, or plants will be covered by three (3) inch depth of shredded western red cedar or rock mulch. An approved landscape weed barrier fabric is required where rock mulch is applied. An approved pre-emergent herbicide must be applied prior to all mulch applications.

Plant Material Setbacks

Trees with vigorous, shallow root systems such as willows and cottonwoods are not permitted within (10') ten feet of building foundations, driveways, and curbs.

Care should be used in placement of trees and plant material so access and visibility are not limited near sidewalks, roadways, and building entrances.

Slope Landscape / Planting Beds

- Slope landscaped with plant material & species, or approved mulches and rock (excepting river rock)
- 50% min. of width is landscaped with sod, ground covers and shrubs
- Open areas not covered with seed, sod or plants are covered with 3" depth of shredded red cedar or rock mulch
- Slope does not exceed 3:1 slope
- Planting bed is covered with a minimum 50% plant material
- All rocked and mulched areas must be substantially planted with plant material spaced 4' on center for deciduous species and 6' on center for evergreen species.



Retaining Walls

Retaining walls need to be constructed in areas where the slope is greater than 3:1. In certain circumstances, native turf (established by seeding) and turf sod (bluegrass or fescue) can also be used in areas where the slope exceeds 3:1, subject to Reviewer approval. For more information regarding grading and erosion controls see the City of Colorado Springs Landscape Code and Policy Manual, Code Section 313, Landscape Grading Plan.

Retaining walls shall be constructed with quality materials that are consistent with the neighborhood theme.

Allowed Materials, Patterns, and Colors:

The following are acceptable materials, patterns, and colors for retaining walls:

For walls adjacent to Community Parkways or Open Space

- Quality interlocking masonry wall unit from either Keystone Block, Pavestone, or an equivalent manufacturer
- Natural or cultured stone, rectilinear splitface wall
- Cast concrete walls with stucco or masonry face
- Color must be from an approved soft earth tone palette

For walls within interior lots

- Quality interlocking masonry wall unit from either Keystone Block, Pavestone, or an equivalent manufacturer
- Natural or cultured stone, rectilinear splitface wall
- Color must be an allowable gray, tan, or brown

Prohibited Materials, Patterns, and Colors:

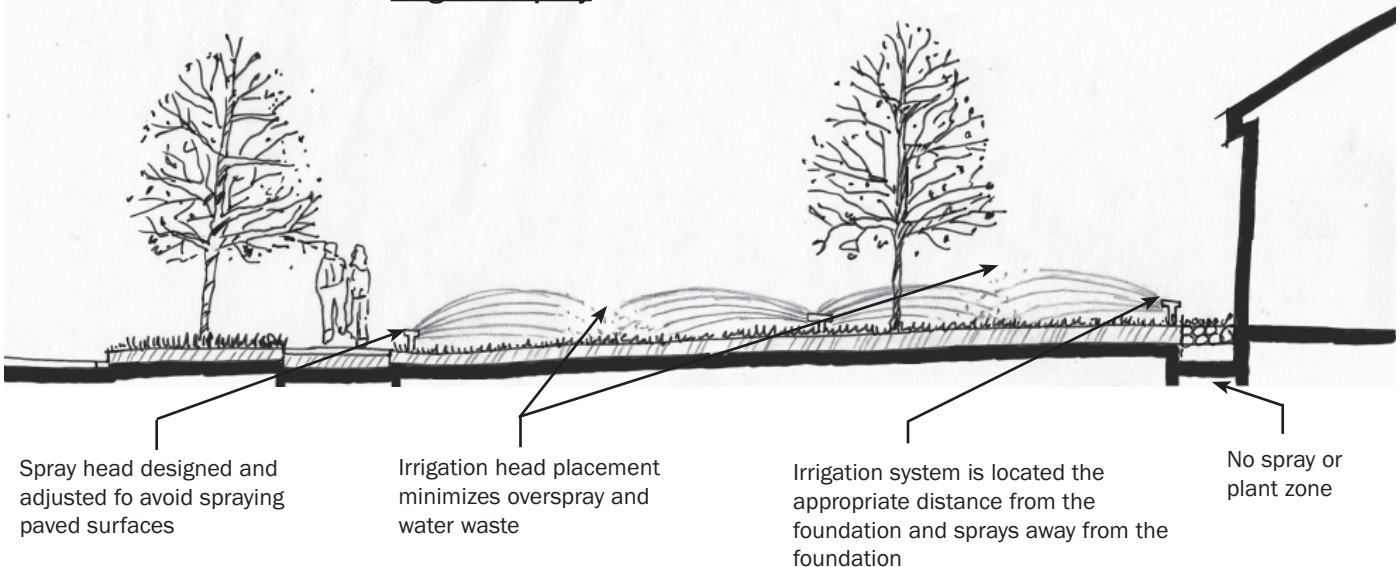
The following are not acceptable in Westcreek and The Villages at Wolf Ranch for retaining walls:

- Concrete Masonry Units
- Wood Materials - Such as timber or railroad ties
- Scalloped wall patterns
- High contrast colors or patterns

Irrigation

Automatic irrigation systems are required for all landscapes. It is recommended that homeowners create a complete landscape irrigation plan for their lot, preferably designed by a landscape irrigation specialist. All systems shall be designed to minimize overspray and water waste and must meet the minimum separation distance from a home's foundation.

Irrigated Spray



Soil Amendments/ Fertilizers

Soil amendments are used to condition and lighten soil as well as improve moisture retention. They are often recommended in areas where intensively managed plantings will be used. Most native plants, however, will establish easily without extensive use of soil amendments. Specific fertilizers and other nutrients should be incorporated only if the results of site specific soil testing recommends it. In particular, the application of nitrogen should be avoided. Local nurseries, the local extension service and the Natural Resources Conservation Service are good resources for advice, recommendations on soil amendments, and soil testing.

Application

A standard rule of thumb for applying soil amendments is 3 cubic yards of amendment for every 1,000 sq.ft. of landscaped area. It is then roto-tilled to a depth of 6 to 8 inches into the existing soil. Recommended soil conditioners may include well rotted, aged, heat-treated manure or organic compost.

Mulch and Landscape Edging

Plant beds should be mulched to discourage weed growth. Wood mulches, such as shredded western red cedar, prevent weed growth, retain soil moisture and eventually breakdown to provide organic matter for soil conditioning. Similar mulch types and colors shall be used throughout the front, side, and rear yards to avoid mixed color and texture palettes. Rich, warm colors of brown and tan rock are encouraged over grey rock mulches. Marble chips, lava rock, round river rock, and black/white granite are not allowed as decorative mulch.

All mulched areas adjacent to turf grass shall be bordered by a steel or concrete edger. Single trees or shrubs planted in turf do not need to be surrounded by an edger.

Landscape Maintenance

Homeowners must maintain their entire lot both seasonally and on a regular basis. Maintenance includes lawn cutting, tree and shrub pruning, removal of weeds and dead plant material, and general removal of trash and lawn debris.

Landscape Installation Timing

Installation must be completed within three months of occupancy (excluding the months of October - March).

Community Landscaping

For all lots and buildings that front streets other than the Community Parkway, the homeowner or builder will be responsible for planting a minimum of one (1) 2 1/2" caliper street tree per 35' of street right-of-way adjacency, but not less than one (1) street tree per lot. These trees will be located in the "tree lawn" with the tree trunk centered between the curb and walk, where walks are detached, or a maximum of four (4) feet from the back of walk where sidewalks are attached. Under no circumstance shall a tree be planted closer than two (2) feet to an underground utility. They will be planted approximately 35' on-center (but no closer than 15' to a streetlight) according to a street tree plan proposed by the homeowner or builder and approved by the Reviewer.



Example of Round River Rock

Improvement or Addition -

Every structure or improvement of any kind, including, without limitation, buildings, fences, walls, trees, hedges, plantings, poles, driveway, parking areas, loading areas, ponds, lakes, recreational facilities, signs, changes in any exterior color or shape, and site work (such as, without limitation, excavation, grading, road construction, utility improvements, and removal of trees or plantings). Improvement does not include turf, shrub, or tree maintenance or replacement. Improvement does include both new construction and any subsequent exterior improvements.

No planting or other landscape treatment except street trees and turf will be permitted in the "tree lawn" areas. Irrigation for the street tree and parkway lawn will be tied to the adjacent lot, except in common open space areas. The homebuilder or homeowner will provide tree lawn sleeving and irrigation during initial construction and will be responsible for turf maintenance and replacement until the property is sold, as well as tree replacement during the required one (1) year warranty period. After that period, the Owner of the associated lot is responsible for the tree lawn maintenance, including irrigation, weeding, lawn mowing, and tree replacement.

Liability

The Reviewer shall not be liable for any damages resulting from the design or construction of any home or landscaping which has been approved by the Reviewer pursuant to these Guidelines or for any damages resulting from an Owners' failure to meet or exceed the minimum Landscape Guidelines, set forth in these Guidelines, as necessary for the proper design and completion of residences or landscaping.

Appurtenances

An appurtenance is essentially a structure or item secondary from the primary home. Unless otherwise specifically stated, plans for a proposed improvement must be submitted to the Reviewer. Written approval of the Reviewer must be obtained before the improvement is made. Any improvement not specifically listed herein requires Reviewer review and written approval.

Accessory Structures / Buildings

Accessory structures include storage/equipment buildings, greenhouses, play houses, or other structures, whether or not they are directly attached to the residence. Some smaller lots may not be suitable for accessory structures. Placement of structures should meet all easement and setback requirements and shall adhere to building and site planning standards. Placement of structures is subject to Reviewer approval. Approval by the Reviewer does not constitute compliance with City regulations. Accessory structures shall not include a permanent foundation. A building permit must be acquired for all new construction, if required by the City.

Items to consider when designing and placing accessory structures include, but are not limited to the following:

- Views from adjacent properties.
- Potential interference with the intended drainage pattern.
- Materials, including roofing, shall match the existing house, unless otherwise approved by the Reviewer.
- No metal or other pre-fabricated buildings will be allowed.
- Alternative building materials will be considered on a case by case basis.
- Color of siding and trim shall match the colors of the existing house.
- The maximum size shall not exceed 80 sq. feet in floor area.
- The height shall not exceed 8' above grade.
- The style shall be complimentary to the architectural style of the house.
- The structure shall be visually screened by vegetation on all exposed sides.
- No more than one storage shed and/or one playhouse is permitted per lot.

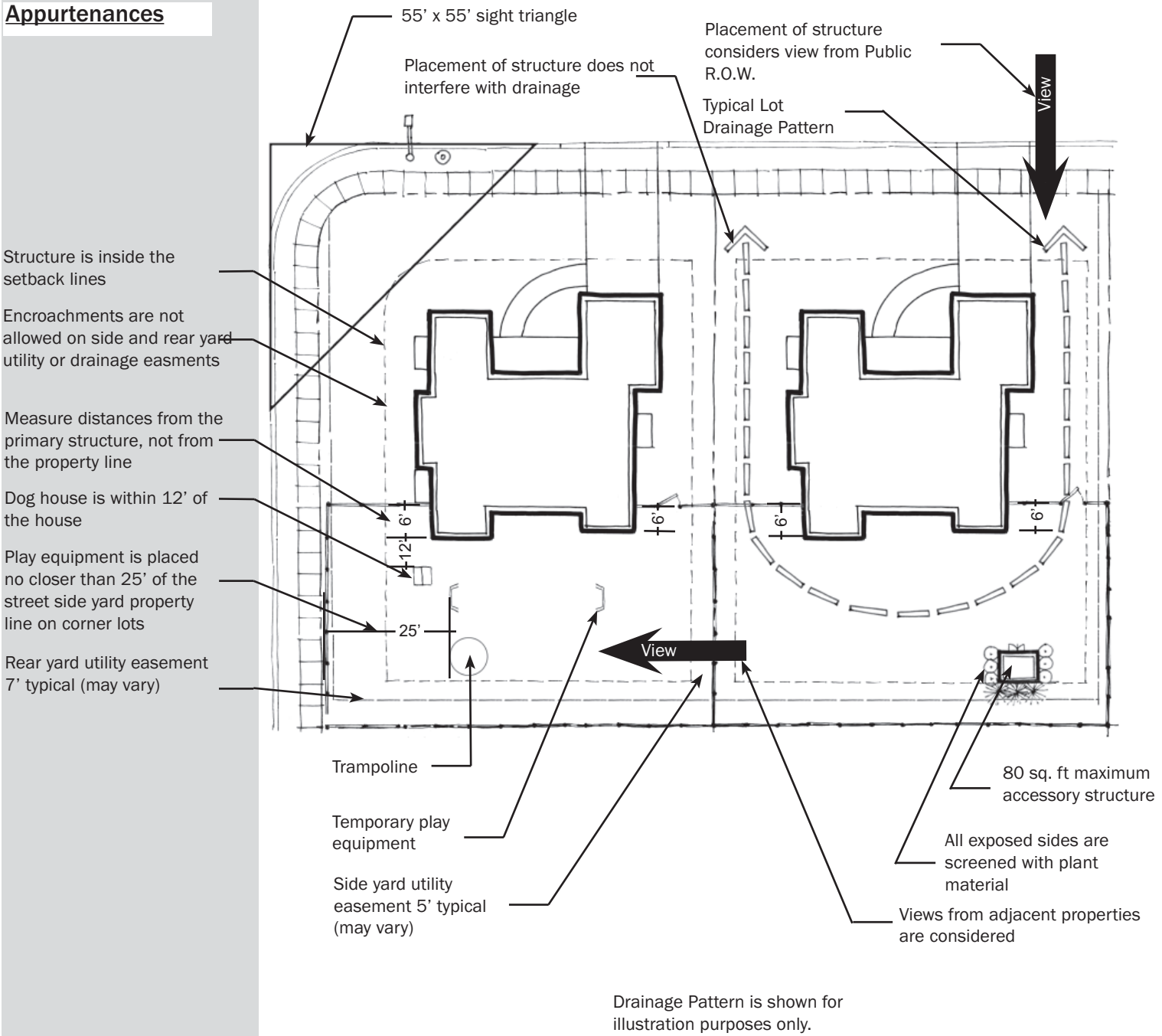
Vehicle Storage

Non-primary vehicles, such as RV's, campers, boats or any vehicles in need of repair, shall not be stored in a driveway or yard. These vehicles can be located in a storage garage, which can be incorporated into the architecture of any home provided that the design complies with the garage standards.

Utility Equipment

All outdoor mechanical and electrical equipment, such as metering devices, transformers and air-conditioning units shall be concealed from the view of adjacent lots, rights-of-way, and public spaces. Wall mounted equipment shall be enclosed with materials homogenous with the building's exterior. Window, wall, or roof-mounted air-conditioning units are not permitted.

Appurtenances



Submittals shall include utility equipment specifications and a description including the size and location of screening materials or methods.

Dog Houses

The colors and materials of a dog house shall match those of the primary residence. The maximum size shall be 4'x4' and not more than 4' to the highest point. Dog houses must be within 12' of the house and are only allowed in the rear yard within lot line fencing or invisible, electronic pet fencing. The specific location of the doghouse should be included with the submittal.

Pet/dog houses, shelters, and kennels/runs shall be screened from view of the public right-of-way through the use of deciduous and evergreen trees, shrubs, or fences, and shall be integrated into the existing primary structure architecture. No chain link enclosures of any kind are allowed.

Play and Sports Equipment

Play equipment shall be at a scale appropriate and coordinated with the surrounding elements and shall be constructed of approved materials and colors. Play equipment must be less than 12' in height at the tallest point. Items used for front yard play are to be stored out of view when not in use.

All play and sports equipment structures and improvements shall be located within the building envelope. Permanent or temporary structures to cover equipment are not permitted, however open structures, such as gazebos, loggia, or pergola are acceptable. Walls, fences or landscaped screens may be required to reduce the visual impact of recreational facilities from adjacent properties.

Types of Play Equipment

Play Equipment Structures: No submittal is required if the unit is less than eight feet in height and has a footprint of less than 100 square feet. Submittals for larger units shall include design, dimensions, materials, color and location. The structure must be a subdued and/or earthtone color. Play equipment utilizing natural materials (wood vs. plastic) is preferred. All play equipment must be placed a minimum of 5' from interior property lines. Play equipment shall not be placed within 25' of the street side yard property line on corner lots. The maximum height of play equipment is 12' at the tallest point.

Temporary Play Equipment: Equipment shall be stored out of view during winter months and when not in play for long periods of time. Temporary play equipment does not require a submittal for approval. All play equipment must be placed a minimum of 5' from interior property lines. Play equipment shall not be placed within 25' of the street side yard property line on corner lots. The maximum height of play equipment is 12' at the tallest point.

Trampolines: The location of a trampoline must be a minimum of 5' from the property line and should consider the impact of noise and views from adjacent properties. All play equipment must be placed a minimum of 5' from interior property lines. Trampolines shall not be placed within 25' of the side lot line on corner street lots. Framing/supports for safety netting

shall be black or dark brown. The maximum height of play equipment is 12' at the tallest point.

Basketball Backboards/Goals: Goals mounted on the house above the garage do not require a submittal, but they shall be of a standard size and be well maintained. Reviewer approval is required for free standing goals. Portable basketball goals are considered temporary equipment and do not require a submittal, but they shall be of standard size and placed at least half the length of the driveway away from the street. The location must not impede or obstruct the use of the garage or driveway and the goal must be leveled so that the goal is balanced and standing upright.

Tennis Courts: All permanent courts are subject to review.

Satellite Dishes/Antennae

No satellite dishes, antennae or similar devices designed for transmission or reception of radio, television or other broadcasts of any kind are permitted on any lot without prior approval, except for "Permitted Devices. A Permitted Device is found in one of the following categories:

- Antennae or satellite dishes designed to receive direct broadcast satellite service which measure one meter or less in diameter
- Antennae or satellite dishes designed to receive video programming services via multi-point distribution services which are one meter or less in diameter or diagonal measurement; or
- Antennae or satellite dishes designed to receive television broadcast signals, which are one meter or less in diameter or diagonal measurement.

Permitted Devices may be installed on a lot without an application or prior approval, provided they are installed in strict compliance with the section below.

A Permitted Device shall be installed solely on the Owner's lot and shall not encroach upon any street Right-of-Way, Common Area, or any other Owner's lot. A Permitted Device shall be installed in a location on the lot from which an acceptable quality signal can be obtained and is least visible from the street, other lots, and public view. In order of preference, the locations considered to be least visible are:

1. Inside the structure of the home (antenna only)
2. Back yard on the ground or below the lot line fence
3. Side yard on the ground or below the lot line fence
4. In the back yard, elevated no higher than 12 feet off of the ground if necessary to obtain an acceptable quality signal, and screened from view of adjacent lots and the street;
5. Attached to the back of the house, with no part of the Permitted Device any higher than the lowest point of the roofline and screened from view of adjacent lots and the streets;
6. Attached to the side of the house, with no part of the Permitted Device any higher than the lowest point of the roofline and screened from view of adjacent lots and the street;

Permitted Devices are not to be installed on roofs or in front yards.

Deck - Refers to an open, unroofed outdoor space usually constructed of light framing above grade, and attached to the building.

Mast Installation

Mast height may be no higher than absolutely necessary to receive an acceptable quality signal. Masts must be painted the appropriate color to match their surroundings.

Safety

For safety reasons, the location of any mast that must extend more than 12 feet above the ground is subject to review and approval of the Reviewer prior to installation. Any such application must include a detailed description of the structure and anchoring methods of the antenna and mast. The notice of rejection shall specify the particular safety risks. If this installation will pose a safety hazard to residents of adjacent properties then the Reviewer may prohibit such installation. The notice of rejection shall specify these safety risks.

Masts shall not be installed any closer to the lot line than the total height of the mast and antenna and any structure on which it is mounted in order to minimize hazards to persons and property if the mast were to fall from a storm or other causes. A licensed and insured contractor must install masts.

Signs

One temporary sign advertising property for sale or lease, may be installed on the property without Reviewer approval, provided the sign is ground mounted, has dimensions of 2' x 3' or a typical real estate sign, and is conservative in color and style. No lighted or moving signs, nor signs painted on the exterior of buildings are permitted.

Event Signs

In an effort to maintain neighborhood aesthetics, political signs shall not be displayed more than two months prior to the election and shall be removed within five days after the election. Garage sale signs shall only be displayed one day prior to the sale and must not exceed the size specifications outlined above. Owners are responsible for removing signs the day after the sale. Signs may not be affixed within any public right - of - way (including street signs, stop signs, light poles, or other signs).

Site Lighting

Exterior lighting shall be limited to identification signs and lighting dedicated to security and personal safety. Where yard lights are utilized, they will be installed by the builder or owner and placed three (3) feet from the right-of-way where no walk is present, or three (3) feet from the interior walk edge if walks are present. Driveways, porches, patios, pathways and entrances may be illuminated. Address identification signs shall be ground lit.

The display of decorative holiday lighting is allowed between November 1 and January 15th annually. The Reviewer has the right to require changes to any decorative holiday lighting where the scale and intensity of such lighting is not deemed appropriate by the Reviewer.

In all cases, down-lighting is required to reduce glare and ambient light pollution. All site lighting shall be designed so that the direct light source is not visible from adjacent properties, rights-of-ways, or public areas. Flood lighting, sodium vapor, mercury vapor, or other harsh HID light sources will not be allowed. Lighting shall not exceed 60 watts. The use of lights other than white or pale yellow exterior lights will require specific approval of the Reviewer. The proposed illumination plan is required to have final approval from the Reviewer.

Statues & Sculptures

Reviewer approval is not required for a reasonable number of statues and/or sculptures if they are installed in the rear yard and are of a total height not greater than three feet. Installations not within the above requirements shall be submitted for approval by the Reviewer. Art pieces should complement the landscape and the overall architectural style of the home, as well as be appropriate for the neighborhood situation.

Swimming Pools and Spas

Spas, including saunas, hot tubs, and swimming pools, shall be constructed with materials and colors that are in harmony with the architecture of the home. Such amenities shall be designed as an integral part of any associated deck or patio. The chosen location needs to consider potential noise impacts to neighbors and the safety of private spas and swimming pools. Spas and swimming pools shall be located in the side or rear yards and be screened from public view. Fencing may be an appropriate means of screening and safety measures, however any fencing must abide by all setbacks and fencing guidelines.

(Please refer to the Fencing Section under Architecture Guidelines.)

Above-ground pools are not permitted. Wading pools not exceeding 18" in depth and 10' in diameter are permitted on a temporary basis in the rear yard.

Trash Receptacles & Enclosures

Trash receptacles shall be screened and /or enclosed from public view, except on trash collection days.

Flagpoles

The Reviewer must approve location of permanent flagpoles. Flagpoles shall not exceed 8 feet in height. Owners must display a standard pole mounted National or State Flag from the residence. Up-lighting shall not be permitted.

Wolf Ranch Design Review Process

The following criteria and processes apply to Owners proposing improvements and additions for their lots. The applicant shall follow the steps outlined below for all proposals.

Governing Regulations:

All proposals shall conform with the following:

- The Wolf Ranch Master Community Design Guidelines.
- Westcreek and The Villages at Wolf Ranch Homeowner Design Guidelines.
- The Wolf Ranch Community Charter.
- Any applicable Colorado Springs ordinances, regulations and codes.
- Any applicable El Paso County ordinances, regulations and codes.
- Applicable Local, State and Federal Codes and Regulations.

Review Process

These Guidelines provide a framework for the Reviewer to review, process and approve residential additions or site improvements within Westcreek and The Villages at Wolf Ranch. An Owner (inclusive of the Owner and his architect, contractor, and/or other representatives) must follow these procedures to secure the necessary approvals.

The Owner shall advise all his representatives, including but not limited to, his architect, engineer, contractor, subcontractors, and their employees, of the standards and procedures outlined in the Community Charter, the Master Design Guidelines, and these Guidelines, including the Appendixes. All such representatives shall abide by said documents.

Following review of these Guidelines, the Owner or Owner's Representative shall prepare a signed submittal package for review. The package must include sufficient drawings, general notes, details, brochures, and other information required for review. An incomplete package will not be reviewed and will be returned to the Owner to be completed and re-submitted.

The Reviewer will provide a written response indicating approval of the plan, approval with modifications, or denial. If the plan is denied, the written response will explain the reason for denial. Any re-submittal shall follow the same submittal procedures and address the areas of concern. Any re-submittal shall be a complete package. The more complete and well thought out the submittal, the easier it will be for the Reviewer to make a timely response. Construction must not begin prior to receiving written approval from the Reviewer. Failure to comply may result in the removal of modifications or improvements by the Owner at the Owner's expense.

The Reviewer reserves the right to establish and charge reasonable review fees for submittals. Such fees may include the cost incurred in having professionals review any application and may be charged in advance. Current fees are listed in Appendix C.

Submittal Requirements

Intent

A general rule of thumb is this: Imagine you are the Reviewer and you are reviewing the submittal. Do you have everything necessary in order to visualize the completed product so you can make a judgment? If there are no unanswered questions in your mind based on the submission, then it is likely the submission will be acceptable. Owners are encouraged to use the Lot Drainage Plan as a starting point for the landscape and site plan. It is expected that Owners will create their own plans unless unique technical information is necessary in the design. In the case of decks, retaining walls, building additions, and other structural and technical improvements, Owners are encouraged to seek professional assistance.

Master Design Guidelines / Master Community Design Guidelines

- The restrictions, review procedures, and construction regulations for making initial improvements to a builder's lot within Wolf Ranch adopted and enforced by the Founder and its appointed Design Review Committee as set forth in this document and as amended from time to time by the Committee.

Guidelines / Westcreek and The Villages at Wolf Ranch Homeowner Design Guidelines

- The restrictions, review procedures, and construction regulations for making additional (beyond initial) improvements to a homeowner's lot within Wolf Ranch adopted and enforced by the Founder and its appointed Design Review Committee as set forth in this document and as amended from time to time by the Committee.

Architect - A design professional licensed by the State of Colorado to practice Architecture.

Contractor - A person or entity contractually engaged by an Owner for the purpose of constructing any improvements or additions within Wolf Ranch. The Contractor and Owner may be the same person or entity.

Format

Landscape additions, site improvements and any building additions shall be presented in an illustrated plan format on 11" x 17" sheets or larger if further detail is required. The nature of the project will determine the necessity of plan view diagrams, sections, elevations, and multiple construction details.

Submittal Checklist

The following information shall be included in the submittal package:

Location Map and Information Block

- Provide a map indicating the precise lot location of the project within Westcreek or The Villages at Wolf Ranch.
- Include the name, address, and phone number of the Owner and all project consultants (Architect, Landscape Architect, Engineer, etc.).

Landscape / Site Plan

- Site Boundaries
Show property boundaries, building footprints, utility and drainage locations, any easements or right-of-ways, and all setbacks.

Please see Appendix B - Site Plan Example

- Landforms, natural features, and drainage
Include existing topography, drainage-ways, existing plant material, neighboring landscape planting along property lines. (Note: It is extremely important to recognize that you may not alter the drainage on your lot by your landscape and building improvements.)
- Hardscape
Indicate the location and size of existing and proposed driveways, side walks, fencing, patio/decks, retaining walls.
Label what is existing and proposed.
- Proposed Landscape Improvements
Location and size of proposed planting beds, sidewalks, seating areas, site furniture, etc. Also include the locations and use of any associated lighting fixtures.
- Plant Material
Include botanical, common names, plant sizes (width, height, and installation caliper), and type (evergreen or deciduous) for all trees, shrubs, perennials, and ground cover. All plants shall be drawn to 75% of the mature size.
- Rock / Bark Mulch and Edging
Include the type, color, and size.
- Fencing
Include the location of the proposed fencing on a site plan and provide details and/or notes describing the construction methods to be used. Include brochures explaining the type, color, size, paint method (sealed or stained) and construction methods of the fence.
- Retaining Walls
Include wall locations, wall height and lengths, and proposed grading of the surrounding area. Also include any available product brochures explaining the construction methods to be used and the type, color, and size of all materials.

- **Accessory Structures**

Site Structures include patio covers, gazebos, decks, patios, pools, spas, water features, play/recreational equipment, and any other structures that are in addition to the primary house. You must submit a site plan showing the proposed location of accessory structures, as well as elevations showing construction and exterior appearance. Also include the type of exterior finish if other than natural, and all proposed colors.

Building Additions

If you are constructing an addition to your primary home, you must submit complete working drawings for the addition. This includes floor plans and elevations of all exterior views as well as construction details. Drawings should be at a scale of 1/4" = 1' 0".

For building additions it is also important to include a site plan locating the proposed addition within the property boundaries and any significant existing conditions, such as easements and required site setbacks, that may apply. The addition must fit within the building envelope.

Other Building Improvements

When the proposed improvements consists of color and material changes, please include the following information:

- **Painting/staining** - Submit paint or stain samples - large samples help give a better impression of color than small ones. Indicate the color in general terms of the houses on either side of yours (Example - light beige with brown trim).
- **Roofing** - Submit manufacturer's sample or brochure showing the type and color of shingle you plan to use.
- **Brick or stone** - If you are using brick or stone you must submit a sample or brochure indicating the color, size, and shape of the brick or stone.

Liability / Code Conformance

Approval of plans by the Reviewer shall not be deemed to constitute compliance with the requirements of any local building, zoning, subdivision, sign, safety, health, public works or fire codes and regulations, nor shall approval waive any requirements on the part of the Owner to comply with setbacks, height restrictions, or requirements unless such waiver or variance is specifically requested at the time of submittal and granted by the Reviewer and the appropriate jurisdictional agency.

The covenants, conditions and restrictions, as established by the Charter, shall remain in force as the legal restrictions governing all construction.

Any Owner submitting plans for Reviewer approval shall be responsible for the verification and accuracy of all dimensions, grades, elevations and the location of key natural terrain features for the site.

The Reviewer reserves the right to waive, or vary, any of the Guideline procedures at its discretion, for good cause shown. Any waiver, or variance, granted shall be considered unique and will not set any precedent for future decisions.

Appendix A Plant List

Common Name

Deciduous Trees

Autumn Purple Ash
 American plum
 Burr Oak
 Downy Hawthorn
 Canada Red Cherry
 Colorado Hawthorn
 Dolgo Crabapple
 Douglas Hawthorn
 Flame Ginnala Maple
 Ginnala Maple
 Kentucky Coffee Tree
 Hackberry
 Western Catalpa
 Lanceleaf Cottonwood
 Swamp White Oak
 Indian Magic Crabapple
 Korean Pea Pear
 Purple Robe Locust
 Rocky Mountain Birch
 Russian Hawthorn
 Sterling Silver Linden
 Summit Ash
 Toba Hawthorn
 Washington Hawthorn
 Winter King Hawthorn
 Gambel's Oak
 Thin Leaf Alder
 Rocky Mountain Maple

Evergreen Shrubs

Effusa Juniper
 Kinnickinnick
 Adam's Needle Yucca
 Banana Yucca
 Blue Star Juniper
 Broadmoor Juniper
 Calgary Carpet Juniper
 Hillspire Juniper
 Hughes Juniper
 Little Leaf Mt. Mahogany
 Mountain Box
 Purpleleaf Winter Creeper
 Repanda Juniper
 Soapweed Yucca
 Tam Juniper
 Utah Juniper
 Welch's Juniper
 Wilton Carpet Juniper
 Youngstown Juniper
 Cotoneaster 'Coral Beauty'

Evergreen Trees

Bristlecone Pine
 Ponderosa Pine
 Pinon Pine
 Douglas Fir
 Limber Pine
 Scots Pine

Botanical Name

Fraxinus americana 'Autumn Purple'
Prunus americanan
Quercus macrocarpa
Crataegus mollis
Prunus virginiana 'Shubert'
Crataegus succulenta
Malus 'Dolgo'
Crataegus douglasii
Acer ginnala 'Flame'
Acer ginnala
Gymnocladus dioica
Celtis occidentalis
Catalpa speciosa
Populus accuminata
Quercus bicolor
Malus 'Indian Magic'
Pyrus fauriei
Robinia pseudoacacia 'Purpl Robe'
Betula occidentalis
Crataegus ambigua
Tilia tomentosa 'Sterling Silver'
Fraxinus pennsylvanica 'Summit'
Crataegus 'Toba'
Crataegus phaenopyrum
Crataegus viridis 'Winter King'
Quercus gambelii
Alnus temufolia
Acer-glabrum

Juniperus communis 'Effusa'
Arctostaphylos uva-ursi
Yucca filamentosa
Yucca baccata
Juniperus squamata 'Blue Star'
Juniperus sabina 'Broadmoor'
J. horizontalis 'Calgary Carpet'
Juniperus virginiana 'Cupressifolia'
Juniperus horizontalis 'Hughes'
Cercocarpus intricatus
Paxistima myrsinites
Euonymus fortunei 'Coloratus'
J. communis 'Repanda'
Yucca glauca
Juniperus sabina var. *tamariscifolia*
Juniperus osteosperma
Juniperus scopulorum 'Welchii'
Juniperus horizontalis 'Wiltonii'
Juniperus horizontallis 'Youngstown'
Cotoneaster dammeri 'Coral Beauty'

Pinus aristata
Pinus ponderosa
Pinus cembroides var. *edulis*
Pseudotsuga menziesii
Pinus flexilis
Pinus sylvestris

Common Name

Deciduous Shrubs

Blue Mist Spirea
 Dwarf Ninebark
 Red Twig Dogwood
 Saskatoon Serviceberry
 Three Leaf Sumac
 Yellow Twig Dogwood
 Alpine Current
 Antelope Bitterbush
 American Plum
 Anthony Waterer Spirea
 Apache Plume
 Austrian Copper Rose
 Black Chokecherry
 Blue Canadian Lilac
 Cheyenne Privet
 Columnar Buckthorn
 Crimson Pygmy Barberry
 Curl-Leaf Mt. Mahogany
 Dwarf Blue Rabbitbrush
 Dwarf Burning Bush
 Fernbush
 Froebel Spirea
 Gnome Pyracantha
 Golden Ninebark
 Great Plains Leadplant
 Grow Low Sumac
 Hancock Coralberry
 Katherine Dykes Potentilla
 Lena Broom
 Miss Canada Lilac
 Miss Kim Lilac
 Native Ninebark
 Native Potentilla
 Nearly Wild Rose
 New Mexico Privet
 Pawnee Buttes Sandcherry
 Peking Cotoneaster
 Purple Leaf Plum
 Redleaf Barberry
 Rock Spirea
 Rocky Mountain Sumac
 Rosy Glow Barberry
 Roundleaf Buffaloberry
 Russet Buffaloberry
 Siberian Peashrub
 Snow Mound Spirea
 Tall Blue Rabbitbrush
 Tall Hedge Buckthorn
 Variagated Dogwood
 Wayfaring Tree
 Western Sandcherry
 Western Snowberry
 Whitestem Gooseberry
 Boulder Raspberry
 Chokecherry
 Fragrant Sumac
 Golden Current
 Gambel Oak
 Mountain Mahogany
 Three Leaf Sumac
 Waxflower
 Wild Rose
 Peachleaf Willow
 Meidland White Rose

Botanical Name

Caryopteris x cladonensis
Physocarpus opulifolius 'Nanus'
Cornus stolonifera
Amelanchier alnifolia
Rhus trilobata
Cornus sericea 'Flaviramea'
Ribes alpinum
Purshia tridentata
Prunus americana
Spiraea japonica 'Anthony Waterer'
Fallugia paradoxa
Rosa foetida 'Bicolor'
Aronia melanocarpa
Syringa x prestoniae 'Nocturne'
Ligustrum vulgare 'Cheyenne'
Rhamus frangula 'Columnaris'
Berberis thunbergii 'Crimson Pygmy'
Cercocarpus ledifolius
Chrysothamnus 'Dwarf Blue'
Euonymus alatus 'Compacta'
Chamaebatiara millefolium
Spiraea x bumalda 'Froebeli'
Pyracantha angustifolia 'Gnome'
Physocarpus opulifolius 'Aureus'
Amorpha canescens
Rhus aromatica 'Glow Low'
Symphoricarpos x chenaulti 'Hancock'
Potentilla fruticosa 'Katherine Dykes'
Cytisus x 'Lena'
Syringa x prestoniae 'Miss Canada'
Syringa patula 'Miss Kim'
Physocarpus monogynus
Potentilla fruticosa
Rosa x 'Nearly Wild'
Forestiera neo-mexico
Prunus besseyii 'Pawnee Buttes'
Cotoneaster apiculatus
Prunus x cistena
Berberis thunbergii 'Atropurpurea'
Holdiscus dumosus
Rhus glabra var. *cis-montana*
Berberis thunbergii 'Rosy Glow'
Shepherdia rotundifolia
Shepherdia canadensis
Caragana arborescens
Spiraea nipponica 'Snowmound'
Chrysothamnus nauseosus *Albicaulis*
Rhamus frangula 'Columnaris'
Cornus alba 'Argenteo-marginata'
Viburnum lantana
Prunus besseyii
Symphoricarpos occidentalis
Ribes inerme
Rubus deliciosus
Prunus virginiana
Rhus aromatica
Ribes aureum
Quercus gambelii
Cercocarpus montanus
Rhus trilobata
Jamesia americana
Rosa woodsii
Salix amygdaloides
Rosa 'Meidland White'

Common Name

Botanical Name

Perennials / Ground Covers

Colorado Columbine
 Fringed Sage
 Butterfly Weed
 Coronation Gold Yarrow
 Double Bubble Mint
 Gayfeather
 Goldsturm Rudbeckia
 Purple Coneflower
 Poppy Mallow
 Prairie Cone Flower
 Rocky Mountain Penstemon
 Alert Aster
 Bethlehem Sage
 Blanket Flower
 Blue Flax
 Blue Mist Penstemon
 California Zauschneria
 Chocolate Flower
 Clary Sage
 Colorado Columbine
 Coral Bells (red)
 Coreopsis Sunburst
 Creeping Mahonia
 Creeping Penstemon
 Creeping Potentilla
 Disco Belle Hibiscus
 Dwarf Blanket Flower
 Dwarf Crane's Bill
 Elfin Pink Penstemon
 Hidcote Lavender
 Himalayan Border Jewel
 Husker's Red Penstemon
 Indigo Butterfly Bush
 Lavender Cotton
 Lenten Rose
 Missouri Evening Primrose
 Moonbeam Coreopsis
 Moonshine Yarrow
 New Mexico Primrose
 Oriental Poppy
 Partridge Feather
 Pasqueflower
 Pincushion Flower
 Pine Leaf Penstemon
 Prairie Zinnia
 Purpleleaf Winter Creeper
 Russell Hybrid Lupines
 Shell Leafed Penstemon
 Smooth Aster
 Snowflake Catmint
 Sulphur Flower
 Sunny Border Blue Veronica
 Sunset Hyssop
 Sweet Woodruff
 Whirling Butterflies (pink)
 Whirling Butterflies (white)
 White Wind Flower
 Wild Strawberry
 Woolly Veronica
 Zagreb Coreopsis

Aquilegia caerulea
Artemisia frigida
Asclepias tuberosa
Achillea filipendulina x
Agastache cana
Liatris punctata
Rudbeckia fulgida 'Goldsturm'
Echinacea purpurea
Callirhoe involucrata
Ratibida columnifera
Penstemon strictus
Aster x 'Alert'
Pulmonaria saccharata
Gaillardia artistata
Linum perenne 'Lewisii'
Penstemon virens
Zauschneria californica latifolia
Berlandiera lyrata
Salvia sclarea
Aquilegia caerulea
Heuchera sanguinea
Coreopsis grandiflora 'Sunburst'
Mahonia repens
Penstemon caespitosus
Potentilla verna 'nana'
Hibiscus moscheutos 'Disco Belle'
Gaillardia x grandiflora 'Goblin'
Geranium sanguineum
Penstemon barbatus
Lavendula angustifolia 'Hidote'
Polygonum affine
Penstemon digitalis 'Husker Red'
B. davidii nanoensis 'Petite Indigo'
Santolina chamaecyparissus
Hellebore orientalis
Oenothera missouriensis
Coreopsis verticillata 'Moonbeam'
Achillea 'Moonshine'
Oenothera berlandieri
Papaver orientale
Tanacetum densum var. amani
Pulsatilla vulgaris
Scabiosa columbaria 'Butterfly Blue'
Penstemon pinifolius
Zinnia grandiflora
Euonymus fortunei 'Coloratus'
Lupinus 'Russell Hybrids'
Penstemon grandiflorus
Aster laevis
Nepeta 'Snowflake'
Eriogonum umbellatum
Veronica longifolia 'Sunny Border Blue'
Agastache rupestris
Galium odoratum
Gaura lindheimeri 'Siskiyou Pink'
Gaura lindheimeri
Anemone tomentosa
Fragaria americana
Veronica pectinata
Coreopsis verticillata

Common Name

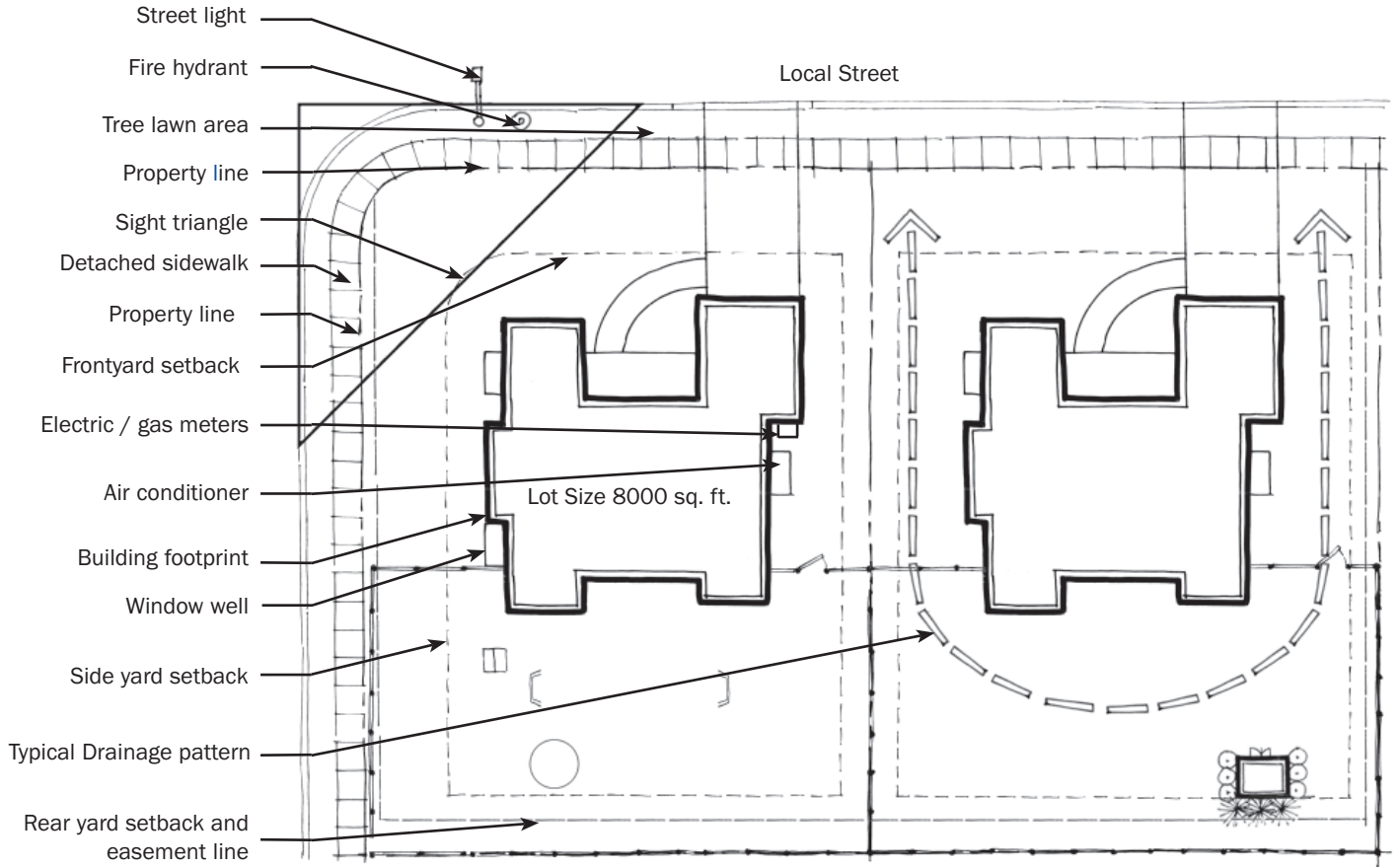
Ornamental Grasses

Big Bluestem
Autumn Moor Grass
Blue Avena Grass
Feather Reed Grass
Indian Ricegrass
Japanese Blood Grass
Little Bluestem
Maiden Grass
Northern Sea Oats
Perennial Fountain Grass
Purple Maiden Grass
Yellow Indian Grass
Blue Fescue 'Sea Urchin'
Boulder Blue Fescue

Botanical Name

Andropogon gerardii Gerardi
Sesleria autumnalis
Helictotrichon sempervirens
Calamagrostis x acutiflora
Oryzopsis hemonoides
Imperata cylindrica 'Rubra'
Andropogon schizachyrium scoparium
Miscanthus sinensis 'Gracillimus'
Chasmanthium latifolium
Pennisetum alopecuroides
Miscanthus sinensis purpurascens
Sorghastrum nutans
Festuca ovina 'Sea Urchin'
Festuca glauca 'Boulder Blue'

Appendix B Site Plan Example



Drainage Pattern is shown for illustration purposes only.

Appendix C - Fee Schedule

Warren Management Group, Inc. Improvement Review Fee Schedule For Wolf Ranch Owners Association, Inc.

General Improvement Application.....\$100*

Includes: (but not limited to)

- Revised Landscape Plan
- Fence Plan (i.e. rear yard, dog)
- Deck or Patio Plan
- Covered Patios
- Accessory Structure (shed, hot tub, pergola & etc.)
- Home Addition
- Trampoline (In-ground)

Other Improvements Application..... \$75*

Includes: "Minor" changes such as (but not limited to)

- Play Structures
- Permanent Sports Equipment (i.e. basketball goal)
- Exterior Lighting
- Trampoline (Above Ground)
- Satellite Dish
- Statues & Sculptures

Non- Structural Exterior Home Improvements Application..... \$50*

Includes: (but not limited to)

- Repainting
- Adding Shutters
- Roof Replacement
- Window Replacement
- Storm Doors
- Removable/Portable Basketball Goal

Per Inspection of Improvement Upon Completion..... \$50*

*Submittal fees subject to change.

Unless stated above, temporary or portable equipment does not require an inspection, but is subject to covenant standards.